

Quinquennial Report

Broadford Church Hall



Church of Scotland Lochcarron and Skye Presbytery
October 2016

Preamble

Rural Design Architects were commissioned in May 2016 by the Lochcarron and Skye Presbytery of the Church of Scotland to undertake quinquennial surveys of their properties, including churches, halls and manses.

The purpose of the quinquennial report is twofold:

- i) to accurately record the condition of the building and make recommendations for maintenance works
- ii) to act as a reference document permitting changes in the condition of the building to be monitored in the long term.

Non-intrusive visual inspections have been undertaken and reports prepared based on the Church of Scotland General Trustees Guidelines for the Preparation of Quinquennial Reports.

PROPERTY BROADFORD CHURCH HALL

Introduction

The following quinquennial report on Broadford Church, Broadford, Isle of Skye, has been carried out for the Lochcarron and Skye Presbytery of the Church of Scotland by Rural Design, The Green, Portree, Isle of Skye.

The survey was undertaken by Mr. Nick Thomson, accredited conservation architect, on 18th October 2016

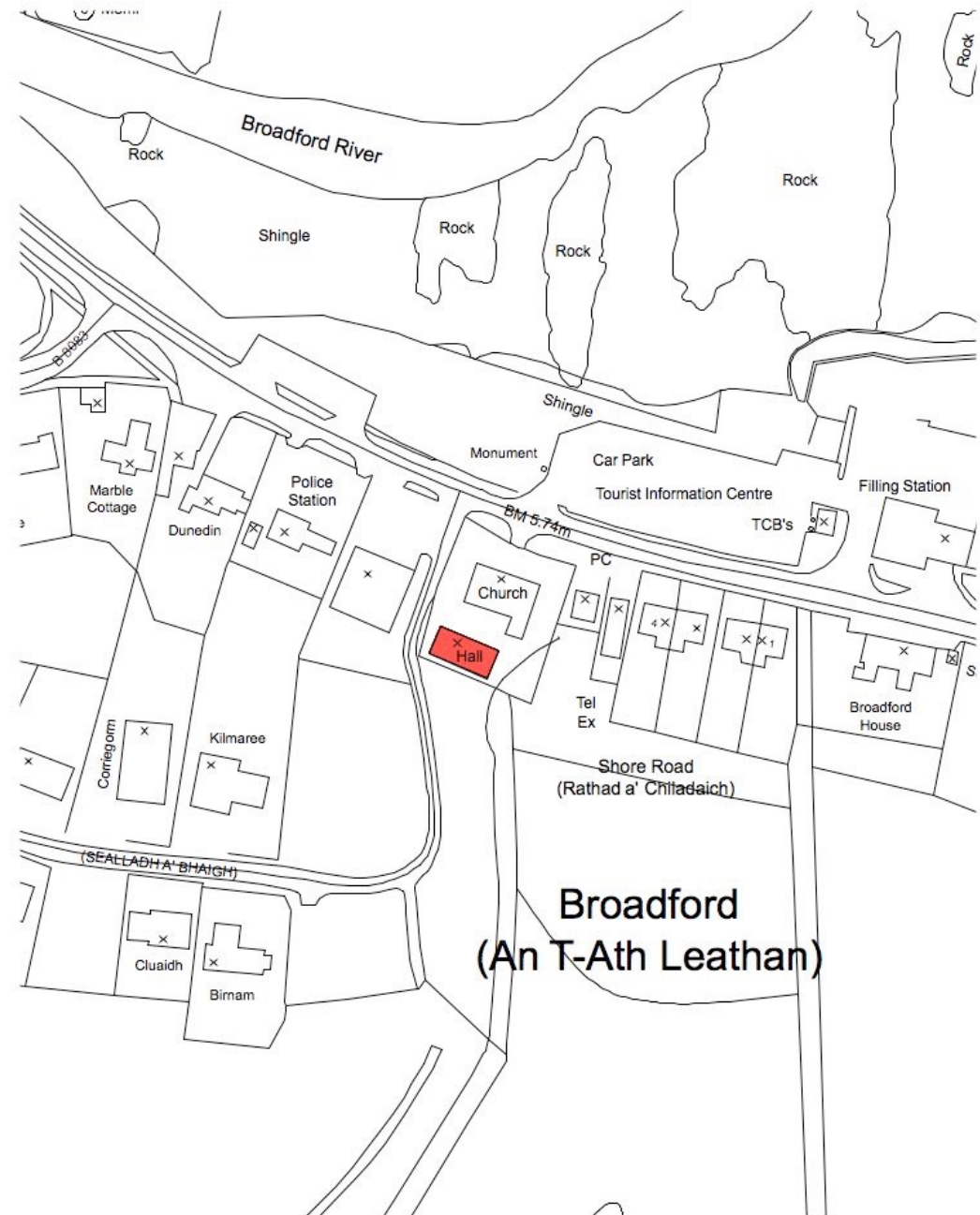
General Description of Building

The church hall is a Dorran type building comprising a pre-cast concrete panel wall system with concrete tiled roof. It is located behind the church and slightly higher up the slope.

Summary of Urgent Work

The building is currently closed for public use as it is considered unsafe and unsuitable. The structural cracks above the windows affect a considerable proportion of the wall structure, and taken together with the severe water ingress at the roof, mean that the building cannot be occupied. The structural issues require comment from an engineer if the building is to be renovated, and for this reason we have not included any costs in the report as there is insufficient information at this stage.

We would note that the building is based on a kit plan and as such is not well tailored to the requirements of the church. If the building were to be modernised this might mean renovating a considerably larger plan area than is necessary. Removal of the existing building and replacement with a more suitable new structure would be a better way of meeting the needs of the church with a higher standard of accommodation.



PROPERTY BROADFORD CHURCH HALL

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
<u>EXTERNAL</u>					
ROOFS	Pitched concrete tile roof				
Roof Coverings	Plain concrete roof tiles	Ridge line undulates indicating underlying structural defect. Water ingress in roof space suggests the roof tiles have become porous and are at the end of their useful life	Roof finish would have to be replaced		
Flashings					
Skews and parapets					
Rainwater goods	UPVC gutters and downpipes	Sealing and bedding of joints is poor on the front elevation	Take off and re-bed		
Spire, bellcote, finials					
WALLS	Pre-cast Dorran panels with render finish				
Wall structure	Dorran panels on brick sub-structure	There are significant cracks on each side of all window and door opening lintols; this indicates a serious problem with the Dorran structural system associated with the lintel connection.	Recommend engineers structural survey		

PROPERTY BROADFORD CHURCH HALL

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
Wall finish	Wet dash render	Numerous cracks at lintols and panel joints	Re-render		
Metalwork etc					
CHIMNEYS AND FLUES					
EXTERNAL WOODWORK	Timber verges soffits and fascias	Moderate condition			
DOORS AND WINDOWS	UPVC windows and door	UPVC windows and doors appear reasonable			
EXTERNAL PAINTING	Masonry paint to render walls	Poor condition.	Re-paint		
EXTERNAL DRAINAGE	UPVC downpipes and SVP	No defects apparent			
GARDEN AND GROUNDS	as for church				
FENCES, GATES, WALLS	as for church				
<u>INTERNAL</u>					
ROOF SPACE	The roof structure comprises fink trusses at 600mm centres, with chipboard sarking over.	Extensive dampness in sarking has caused significant damage	Sarking and roof coverings need to be replaced		

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
Insulation	100mm glasswool quilt				
GROUND FLOOR	Suspended timber floor with timber floorboards, on joists, supported on wall plates on dwarf walls. Solid concrete floor at east end.	Appeared to be in reasonable condition			
Solum	Solum with sand blinding	No dampness visible. No underfloor insulation			
INTERMEDIATE FLOORS Structure	-				
Ceilings	Plasterboard ceilings	Ceilings throughout in very poor condition, affected by dampness and mould growth. Partially collapsed in main hall space.	Replace areas of plasterboarding		
Galleries and balconies	-				
STAIRS	-				
ROOMS Partitions, finishes, cornices, doors, ironmongery etc MAIN HALL	Plasterboard linings on timber straps fixed through bituminous lining felt to concrete panels.	Generally poor condition with evidence of sagging above windows, dampness and partial collapse of ceiling	Replace		

PROPERTY BROADFORD CHURCH HALL

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
KITCHEN	Plasterboard linings on timber straps fixed through bituminous lining felt to concrete panels.	Very poor	Replace		
ROOM 3	Plasterboard linings on timber straps fixed through bituminous lining felt to concrete panels.	Very poor			
ROOM 4	Plasterboard linings on timber straps fixed through bituminous lining felt to concrete panels.	Very poor			
ROOM 5	Plasterboard linings on timber straps fixed through bituminous lining felt to concrete panels.	Very poor			
WC 1	Plasterboard lined	Very poor with damp showing on ceiling and walls			
WC 2	Plasterboard lined	Very poor, sanitaryware removed			
WC 3	Plasterboard lined	Very poor, sanitaryware removed			
INTERNAL DECORATION	Emulsion paint to walls Clear varnish and gloss paint to woodwork	Generally poor condition			

PROPERTY BROADFORD CHURCH HALL

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
SERVICES Heating - source and distribution	Heating removed				
Electrics - Consumer unit, sockets, switches, lighting	Electricity disconnected				
Gas - LPG	-				
Water and drainage hwc pipework insulation	Water disconnected				
Alarm systems heat smoke CO	None				
FIXTURE AND FITTINGS	Generally removed from building	Remaining kitchen fitting very poor			
MISCELLANEOUS					
ASBESTOS	None noted				
ACCESSIBILITY	Steps to main entrance No accessible facilities				
FIRE PRECAUTIONS Equipment and risk assessment Escape lighting	None				

PROPERTY BROADFORD CHURCH HALL

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
LIGHTNING CONDUCTOR					
PROTECTED SPECIES					

Totals

Urgent: £

Essential: £

Desirable: £

Notes

The priority for works to be carried out is as follows; U = Urgent (remedial work necessary at the time of inspection which we would advise to be carried out without delay); E = Essential (works which should be carried out within 5 years or sooner where noted); D = Desirable (works which should be carried out at some time in the future when funds permit).

Costs shown are indicative and it should be noted that these may vary further to opening up and detailed investigation and specification. Costs are exclusive of VAT and any fees. Work may be subject to the requirements of the CDM regulations, which impose client duties with regard to health and safety management, risk assessments should be carried out and any work at height undertaken with suitable platforms and equipment.

In carrying out the survey we did not lift floorboards or take down any internal linings etc. Examination of roofs, finials and walls at high level was undertaken with binoculars. We have carried out a simple visual inspection of services installations and have not carried out any tests or or detailed checks. Such work should be carried by a registered electrician or engineer as appropriate.

Report sign off

I certify that I personally assessed the condition and prepared the report

Signed

for Rural Design

Date

PROPERTY - BROADFORD CHURCH HALL



North elevation



West gable

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East gable



Partial south elevation showing uneven ridge

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Typical crack above window, north elevation



Partial north elevation showing cracks

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Main hall space



Ceiling in main hall

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Kitchen area



Typical panel construction at south wall

PROPERTY - BROADFORD CHURCH HALL



Damaged ceiling and wall in end room



Roof space showing all sarking damp