

Quinquennial Report

**Kilmore Manse**



Church of Scotland Lochcarron and Skye Presbytery  
November 2016

## **Preamble**

Rural Design Architects were commissioned in May 2016 by the Lochcarron and Skye Presbytery of the Church of Scotland to undertake quinquennial surveys of their properties, including churches, halls and manses.

The purpose of the quinquennial report is twofold:

- i) to accurately record the condition of the building and make recommendations for maintenance works
- ii) to act as a reference document permitting changes in the condition of the building to be monitored in the long term.

Non-intrusive visual inspections have been undertaken and reports prepared based on the Church of Scotland General Trustees Guidelines for the Preparation of Quinquennial Reports.

## PROPERTY KILMORE MANSE

### Introduction

The following quinquennial report on Kilmore Manse, Sleat, Isle of Skye, has been carried out for the Lochcarron and Skye Presbytery of the Church of Scotland by Rural Design, The Green, Portree, Isle of Skye.

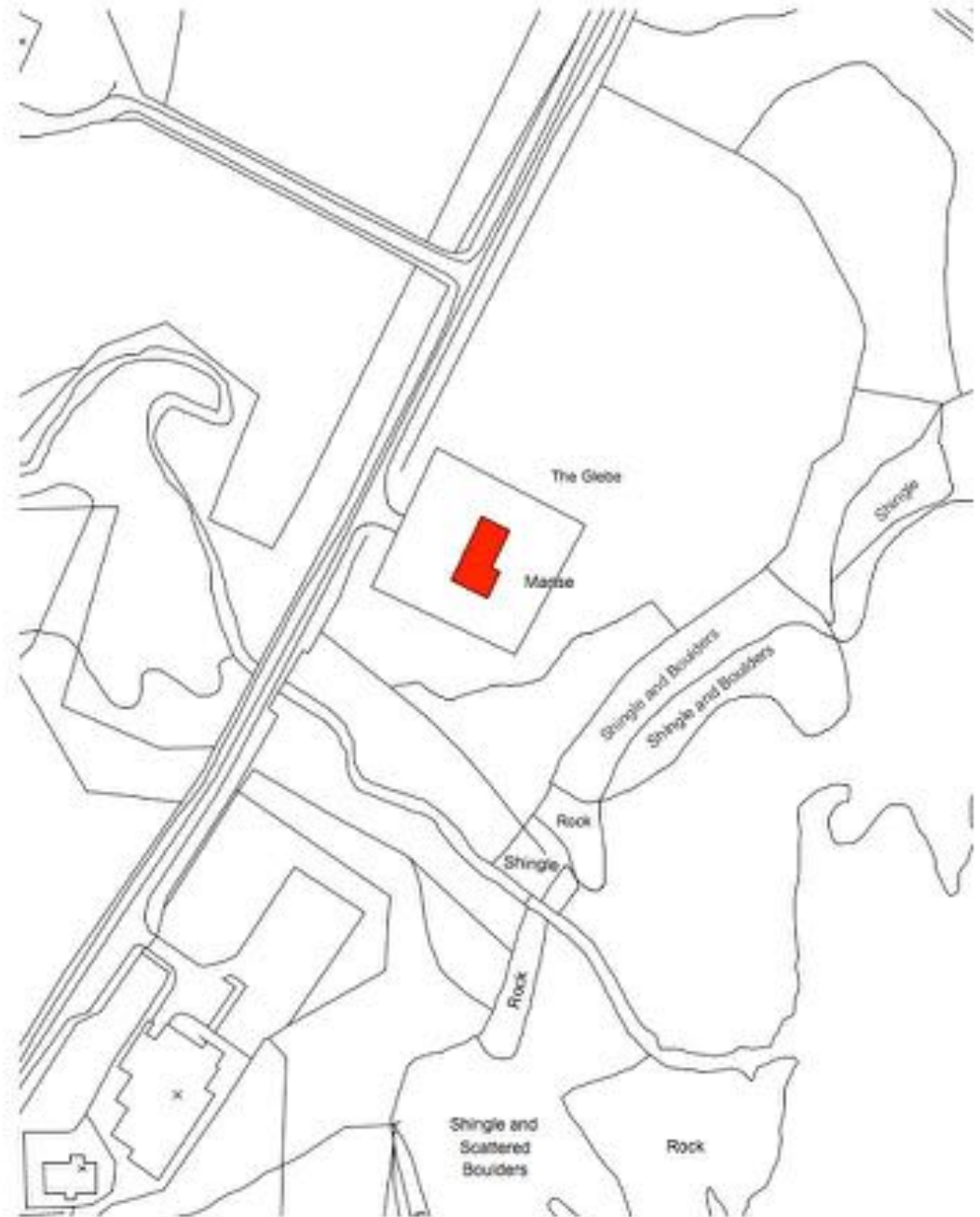
The survey was undertaken by Mr. Nick Thomson, accredited conservation architect, on 2nd November 2016.

### General Description of Building

The manse at Kilmore is a modern timber framed kit house. It is located between the primary school and the church on the East side of the A857 in Sleat, in the South of Skye.

### Summary of Urgent Work

The building is of recent construction and generally well maintained, consequently there are no urgent works required.



## PROPERTY KILMORE MANSE

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
<b><u>EXTERNAL</u></b>					
<b>ROOFS</b>	Pitched roof with hipped ends				
Roof Coverings	Profiled concrete roof tiles	Satisfactory. Ridge tiles showing some signs of wear			
Flashings	Lead flashing to valley	Satisfactory	Note bottom of valley tends to collect vegetation growth and should be regularly cleared		
Skews and parapets	-				
Rainwater goods	UPVC gutters and downpipes	Satisfactory			
Spire, bellcote, finials	-				
<b>WALLS</b>	Timber frame construction with blockwork outer leaf				
Wall structure	Structural timber frame	No apparent cracks in outer leaf of wall.			
Wall finish	Self coloured wet dash cement render	Satisfactory			
Metalwork etc	-				
<b>CHIMNEYS AND FLUES</b>	Metal flue to oil fire boiler	Satisfactory			
<b>EXTERNAL WOODWORK</b>	Redwood fascias and ply soffits	Satisfactory			

## PROPERTY KILMORE MANSE

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
<b>DOORS AND WINDOWS</b>	Timber double glazed windows. Half glazed front door Glazed sliding patio door	Generally in reasonable condition Sliding patio door in moderate condition and would benefit from external redecoration			
EXTERNAL PAINTING	Soffits and fascias have timber stain finish	Reasonable condition	Re-paint patio doors	D	50
EXTERNAL DRAINAGE	Surface water drainage to soakaway Foul drainage to septic tank, not seen				
GARDEN AND GROUNDS	Gravel parking area, grass and shrubs to garden	Satisfactory			
FENCES, GATES, WALLS	Post and wire fence	Satisfactory			
<b><u>INTERNAL</u></b>					
<b>ROOF SPACE</b>	Roof structure comprises trusses at 600mm centres	Satisfactory			
Insulation	Double layer of glasswool insulation quilt over part of the loft space. The central section has 100mm quilt	Reasonable condition	It would be possible to tidy up the glasswool to avoid any gaps and consider increasing insulation depth over middle part	D	200
<b>GROUND FLOOR</b>	Suspended timber	No issues visible			
Solum	Not visible				
<b>INTERMEDIATE FLOORS</b>	-				
Structure					
Ceilings	Plasterboard ceilings	Satisfactory			

## PROPERTY KILMORE MANSE

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
Galleries and balconies	-				
<b>STAIRS</b>	-				
<b>ROOMS</b> Partitions, finishes, cornices, doors, ironmongery etc KITCHEN/ DINING	Plasterboard lining, covered ceiling, timber skirtings and flush timber doors etc	Reasonable condition			
STUDY	Plasterboard lining	Reasonable condition			
UTILITY	Plasterboard lining, oil fire boiler located in utility	Reasonable condition			
LIVING	Plasterboard lining	Reasonable condition			
CORRIDOR	Plasterboard lining	Minor marks to paint work on walls	Touch up	D	50
BEDROOM 1	Plasterboard lining	Reasonable condition			
BATHROOM	Plasterboard lining	Minor crack behind bath	Re-seal	D	50
BEDROOM 2	Plasterboard lining	Reasonable condition			
BEDROOM 3	Plasterboard lining	Reasonable condition			
BEDROOM 4	Plasterboard lining	Reasonable condition			
BEDROOM 5 and EN-SUITE	Plasterboard lining	Reasonable condition, en-suite could benefit from re-painting	Make good decoration to en-suite	D	50

## PROPERTY KILMORE MANSE

ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
<b>INTERNAL DECORATION</b>	Emulsion paint finish to plasterboard Clear varnish to woodwork	Generally reasonable			
<b>SERVICES</b> Heating - source and distribution	Oil fired boiler with radiators	Satisfactory			
Electrics - Consumer unit, sockets, switches, lighting	Meter complete with MCBs. Domestic wiring throughout house	No issues noted			
Gas - LPG	-				
Water and drainage hwc pipework insulation	Hot water cylinder in cupboard	Appears in reasonable condition			
Alarm systems heat smoke CO	Smoke alarms in corridor and utility CO alarms in hall and utility				
<b>FIXTURE AND FITTINGS</b>	Kitchen appears well appointed	Fittings in reasonable condition			
<b>MISCELLANEOUS</b>					
<b>ASBESTOS</b>	None noted				
<b>ACCESSIBILTY</b>	Steps to front entrance				
<b>FIRE PRECAUTIONS</b> Equipment and risk assessment Escape lighting	Fire extinguisher adjacent to front door	Service 02/16			

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
LIGHTNING CONDUCTOR					
PROTECTED SPECIES					

### Totals

Urgent: £ -

Essential: £ -

Desirable: £ 400

### Notes

The priority for works to be carried out is as follows; U = Urgent (remedial work necessary at the time of inspection which we would advise to be carried out without delay); E = Essential (works which should be carried out within 5 years or sooner where noted); D = Desirable (works which should be carried out at some time in the future when funds permit).

Costs shown are indicative and it should be noted that these may vary further to opening up and detailed investigation and specification. Costs are exclusive of VAT and any fees. Work may be subject to the requirements of the CDM regulations, which impose client duties with regard to health and safety management, risk assessments should be carried out and any work at height undertaken with suitable platforms and equipment.

In carrying out the survey we did not lift floorboards or take down any internal linings etc. Examination of roofs, finials and walls at high level was undertaken with binoculars. We have carried out a simple visual inspection of services installations and have not carried out any tests or or detailed checks. Such work should be carried by a registered electrician or engineer as appropriate.

### Report sign off

I certify that I personally assessed the condition and prepared the report

Signed

for Rural Design

Date



PROPERTY - KILMORE MANSE



North West elevation



View from North

PROPERTY - KILMORE MANSE



View from South



South West Elevation

PROPERTY - KILMORE MANSE



Roof tiles on South East elevation



Roof space

PROPERTY - KILMORE MANSE



Kitchen



Dining space